

INSPECTION REPORT



For the Property at:
MEMORY LANE
HARVEST, AL 35749

Prepared for: HOME BUYER
Inspection Date: Monday, June 12, 2023
Prepared by: Steve Wehrman, AL-4164



Wehrman Inspection Services
2543 County Road 940
Cullman, AL 35057
256-615-3159
417-350-6960

The best home inspection experience available.



February 28, 2024

Dear Home Buyer,

RE: Report No. 2352, v.2
Memory Lane
Harvest, AL
35749

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Steve Wehrman
on behalf of
Wehrman Inspection Services

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SUMMARY

Memory Lane, Harvest, AL June 12, 2023

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

BATHROOM

SITE INFO

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The subject building can be described as a two-story wood frame & brick veneer house built on a crawlspace foundation. The house is located on a hillside lot and surrounded by grassed lawns & scattered trees. Online records state that the home was built in 2011.

All repairs & upgrades should be completed by licensed & reputable contractors.

1.- There is a nail pop through the shingles above the front porch. Seal/repair any exposed nails. Some moss growth and some branches/leaves noted atop the roof. Periodically remove any debris, moss, & organic growth.

2.- The sidewall roof flashing above the front porch has a loose or uplifted area. There is also an uplifted shingle or flashing area in front of the left side dormer. Secure the flashing where needed. There are some caulking gaps at the front sidewall flashing (above the porch). Touch-up or re-caulk where needed.

3.- Gutters are not currently installed. Add gutters and downspouts to improve perimeter drainage. Ensure that all downspouts are extended away from the house.

4.- There is a hole in the right side soffit (likely caused by a squirrel). The hole can allow squirrels & other pests access into the attic. Seal/repair any holes in the soffits. Some of the vinyl soffit coverings have popped out of place. Secure where needed.

5.- Handrails are typically required at stairs with four or more risers. The front porch stairs do not have a handrail installed. Guardrails are required at porches & decks that are over 30" above the ground. The front porch is taller than 30". Installing a handrail & guardrail is recommended.

6.- There are some minor gaps in the exterior brick mortar/caulk at the exterior windows & wall penetrations. Caulk/seal any noticeable gaps at the brick veneer. One small loose brick was noted above a rear foundation vent. Secure/repair the loose brick.

7.- Deck safety is very important. Many decks are not built using the currently recommended standards. Without regular maintenance and repairs, these decks will become unsafe over time. Decks can and do fail. Addressing any deficiencies before property damage or injury occur is recommended. The subject deck has several issues including wood rot and questionable repairs (see exterior section). The deck should be evaluated by a reputable contractor and repaired & improved where needed. Any future deck improvements should follow The American Wood Council's prescriptive deck guide.

8.- The crawlspace vapor barrier has several large gaps, disheveled areas, and areas covered with sediment. Replacing the barrier or adding a new/fresh barrier is recommended. A complete and professionally installed barrier will improve the long-term ability of the crawlspace to remain dry and free from mold & fungal growth. Periodically check for moisture intrusion and plumbing leaks.

9.- Water was seeping in under the left side foundation wall. In most cases, I would presume that the moisture is from

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ground water/exterior drainage. However, the water in the subject crawlspace is around the main plumbing drain line as it exits the house. Verify the plumbing is free from leaks. Improve exterior drainage to prevent ongoing moisture seepage. Monitor for excessive moisture & evaluate further if needed.

10.- There are water-stained areas & previous repairs under the rear exterior living room and rear exterior sunroom doors. Continued water intrusion at the doors is highly likely (see structural section for details). Ask the seller when the repairs occurred and what the repairs included. The doors should be evaluated further and improved to prevent continued moisture seepage & wood rot/ further damage. Sealing the exterior doors or adding pan flashing under the doors is recommended.

11.- I also noticed large water stains on the subfloor under the kitchen/living area (possible long-term refrigerator leak) and under the laundry room (possible washer plumbing leak). I recorded acceptable moisture content under the kitchen/living area and one borderline reading under the laundry room. Ask the seller if they are aware of previous leaks in these areas. Evaluate or improve further if needed.

12.- One electrical outlet in the upper-level bonus room has reversed polarity. Re-wire/ repair the outlet.

13.- The HVAC ductwork in the crawlspace has some leaking areas due to duct holes/ openings. One duct is completely disconnected near the center of the crawl. One duct has a noticeable rodent hole. Additional ducts have damaged insulation or are not fully supported. The ducts (including the attic ducts) should be evaluated for repair or replacement. Cleaning the duct interiors is also recommended unless the ducts are completely replaced.

14.- The HVAC air handler for the upper level is located inside the attic. The unit has a drain pan and float switch to limit spills/leaks. The drain pan for the unit is nearly halfway filled with water and the pan appears rusty. Under normal conditions, the pan should always be dry. The water and rust indicate that the HVAC system should be evaluated/serviced by an HVAC technician or contractor. Verify the age of the systems (questionable manufacture dates) and any recent service records.

15.- The HVAC condensers are not level. This can damage the internal components over time. Re-level the units. The insulation is missing or damaged at the exterior low-pressure refrigerant lines. Replace the insulation.

16.- There is some damage or gaps in the wall insulation (visible inside the attic). Replace/improve any damaged wall insulation.

17.- The water heater pressure relief valve is improperly routed against gravity. Water heater manufacturers and safety standards require the tube to flow with gravity. Additionally, the tube terminates too high above the ground. The discharge point should be within 6" of the ground to limit the spray of any scalding water/discharge. Adjust/re-position the discharge tube.

18.- The hot water temperature was 130 degrees. This is above the recommended residential hot water temperature. Reducing the water temperature to 120 or lower is recommended.

19.- The upper level (front left) bonus room window has broken glass. Replace the window.

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20.- One living room window has a detached sash cord/attachment. Repair the window. Some windows have misaligned locks or were difficult to lock (one master bedroom, one sunroom, and one upper left bedroom). Adjust/improve the window locks where needed.

21.- The dishwasher drain line should be raised above the sink bottom to prevent siphoning--backflow into the dishwasher.

22.- The exterior dryer vent cover is damaged or partly missing. Replace the outer cover.

23.- The laundry tub is not secured to the floor or wall and can be moved easily. Additionally, the sink faucet is not secured to the sink. Securing the sink is recommended.

24.- The interior stair handrail is loose. Several of the balusters pop out of place. Repair the handrail.

25.- The master bathroom toilet tank lid is cracked/damaged. Replace the lid.

26.- The upper-level bathroom vent fan did not turn on. Verify the fan is functional. Repair/replace as needed. I did not see a vent fan in the master bathroom except in the toilet area/ water closet. Vent fans are primarily used to remove steam and humidity. Consider installing a vent fan in the main area of the master bathroom. One vent fan discharge tube is disconnected inside the right side attic. Reattach the vent tube. Verify all vent fans discharge to the exterior or to the roof vents.

[Priority Maintenance Items](#)

This report expresses the personal opinions of the inspector, based on his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, the opening of walls, moving furniture, appliances, or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged, or difficult to inspect are excluded from the report.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Description

Sloped roofing material:

- Asphalt shingles

The roof shingles are presumed to be thirty-year shingles and have likely been installed since construction (2011). Verify the age and any warranty information if possible.

There is a nail pop through the shingles above the front porch. Seal/repair any exposed nails.

There are some caulking gaps at the front sidewall flashing (above the porch). Touch-up or re-caulk where needed.

Some moss growth and some branches/leaves noted atop the roof. Periodically remove any debris, moss, & organic growth.



1. Caulking gaps at front sidewall flashing



2. Debris/ moss growth



3. Nail pop at front center



4. Asphalt shingles

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5. Asphalt shingles



6. Asphalt shingles

Sloped roof flashing material:

- Metal

The sidewall roof flashing above the front porch has a loose or uplifted area. There is also an uplifted shingle or flashing area in front of the left side dormer. Secure the flashing where needed.



7. Flashing uplift



8. Shingle or flashing uplift

Approximate age: • 12 years

Typical life expectancy: • 25-30 years

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Limitations

Inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • By walking on roof • From roof edge • With a camera on pole

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Description

General:

- General exterior views



9. General exterior views



10. General exterior views



11. General exterior views



12. General exterior views

Gutter & downspout material: • No gutters or downspouts

Lot slope:

- Hillside

The house is located on a sloped hillside lot. Future erosion, settlement, and similar issues are possible. The yard is sloped towards the home at the front. There are some bare yard areas due to moderate to heavy tree coverage. The bare yard areas may erode over time due to the lack of grass// covering. Monitor the yard for drainage problems after rainfall and evaluate further or improve if needed.

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Some of the trees and landscaping are overgrown. Trim any trees/landscaping that are in contact with the house and roof.



13. Overgrown landscaping



14. Bare ground



15. Tree branch/ roof contact

Soffit (underside of eaves) and fascia (front edge of eaves):

- Metal
- Vinyl

There is a hole in the right side soffit (likely caused by a squirrel). The hole can allow squirrels & other pests access into the attic. Seal/repair any holes in the soffits. Some of the vinyl soffit coverings have popped out of place. Secure where needed.



16. Soffit popped out of place

17. Soffit popped out of place



18. Hole in soffit

Wall surfaces and trim:

- Brick Veneer

Brick veneer weep holes are typically found at regular intervals around the base of the walls and above window and door openings. Weep holes are used to allow the porous brick material to drain and to provide the proper pressure between the brick & stud walls. I did not see weep holes in the required areas. Monitor the perimeter for signs of moisture intrusion. Many older homes do not have weep holes as currently required and do not have moisture issues.

- Brick veneer is simply a protective weather barrier (similar to vinyl siding) and is not considered a structural component of the home. Brick is very brittle and can crack due to typical brick expansion, impact damage, steel lintel sag or rust expansion, or perimeter settlement. Minor hairline brick expansion cracks are typical in nearly all residential construction. In most cases, major foundation repairs are not needed unless there are large interior distress cracks in the drywall opposite the exterior cracks and/or interior perimeter floor slope/deflection.

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There are some minor gaps in the exterior brick mortar/caulk at the exterior windows & wall penetrations. Caulk/seal any noticeable gaps at the brick veneer. One small loose brick was noted above a rear foundation vent. Secure/repair the loose brick.

There is some hairline mortar cracking in the brick veneer above the garage vehicle door. Cracks in brick above wide garage doors are a common issue. The steel lintel (the thin metal that supports the brick above doors & windows) can sag or rust over time. The movement of the steel can result in brick veneer cracks. If the cracks and lintel sag increase--then repairs will be needed. The cracks can be monitored for movement--or the lintel can be evaluated by a structural engineer to determine if the lintel sag is above the allowable steel deflection rate. Discuss the issue with a brick mason or structural engineer if you require more in-depth information.

There is a 2x4 or similar lumber under the brick at the rear of the home. The wood was likely installed during the installation of the brick and should not be necessary for long-term brick support. The wood is deteriorating/rotting andfd may attract termites. Remove the wood.



19. Caulking/mortar gap



20. Caulking/mortar gap



21. Caulking/mortar gap



22. Brick veneer crack above garage door

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23. Loose brick at rear



24. Wood ledge at rear



25. Wood ledge at rear



26. Caulking gap

Driveway:

- Concrete
- Concrete shrinkage is a common and expected occurrence in nearly all residential concrete construction. As the wet concrete mixture dries, the water evaporates and causes the remaining components to pull apart. This allows cracks to develop. Shrinkage cracks are not considered a structural issue. Some typical concrete shrinkage cracking noted at the concrete driveway surface. Repairs are not required.

One of the driveway corners is broken/detached. Repair if desired.



27. Broken corner

Walkway: • Concrete • No performance issues were noted.

Deck:

- Raised

Deck safety is very important. Many decks are not built using the currently recommended standards. Without regular maintenance and repairs, these decks will become unsafe over time. Decks can and do fail. Addressing any deficiencies before property damage or injury occur is recommended.

The deck floor joists consist of 2x10 joists spaced every 16" spanning up to 11'-2". According to the American Wood Council, the joists are within the recommended span. The outer deck beam is a 2-ply 2x10 with spans up to 5'-0". The beam is within the acceptable span.

The outer deck beam girder has an improper connection detail. The beam is nailed or screwed to the faces of the columns. This puts all of the load/weight on the screws or nails used instead of on the actual beam and columns. Typically, the columns are notched for beam bearing--providing stronger support.

The deck floor joists are attached to the house by extending the joists into or through the brick veneer. Several of the deck joists have areas of rot or soft wood. Some of the joists have been repaired by sandwiching the damaged joists. However--the sandwiching will not provide support at the connection/bearing point as the sandwich joists are outside of the brick and cannot extend into the wall. Continued rot and deterioration could result in deck floor sag or failure. Adding a beam and columns against the house can prevent issues from deterioration of the joist bearing points. Note that adding gutters at the rear roof edge may prevent the rot damage noted at the joist ends and inner deck edge. Adding flashing between the deck and the house can also prevent damage to the crucial house connection point.

Some sections of the deck floor appear to have recently been replaced--likely due to rot or damage. I noticed the edge deck floor boards have not been replaced and have areas of soft wood, rot, and general deterioration. Replacing the additional rotted areas is recommended. Note that the deck rail may need to be temporarily removed to access the outer edge floorboards.

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The deck stain is uneven or incomplete in several areas. Additionally, some areas have a thicker deck stain product than other areas. Improvement is recommended.

The deck guardrail is not attached per the details in the American Wood Council's deck guide--however--I pressed against the railing and did not detect weak areas or movement at this time. The small graspable railing that has been attached to the top of the stair railing felt weak and may detach easily under pressure.

The deck columns are embedded in the ground. The bottom stair is also in contact with or very close to the ground. Monitor wood with ground contact for rot & deterioration.

The deck should be evaluated by a reputable contractor and repaired & improved where needed. Any future deck improvements should follow The American Wood Council's prescriptive deck guide (free downloadable pdf guide that details how to build a safe deck to current standards). Ensure the deck is maintained regularly and repaired or improved in a timely manner.



28. Sandwich repair not possible at bearing point



29. Soft wood



30. Soft wood



31. Deck joist connection detail

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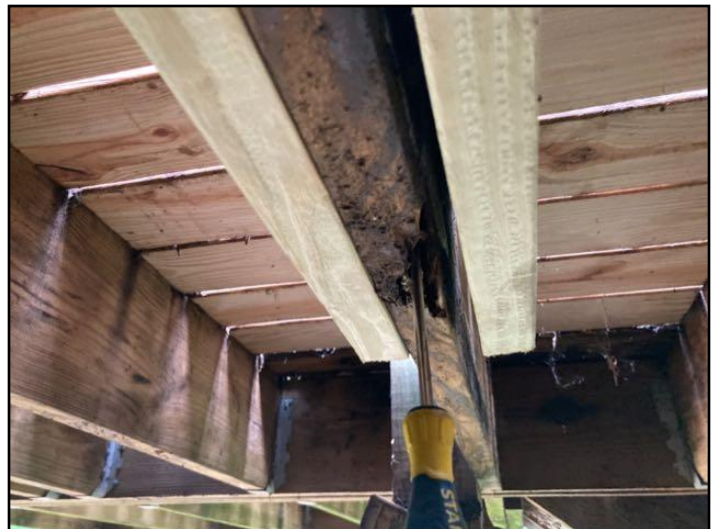
32. Deck repair



33. Soft wood



34. Soft wood



35. Soft wood

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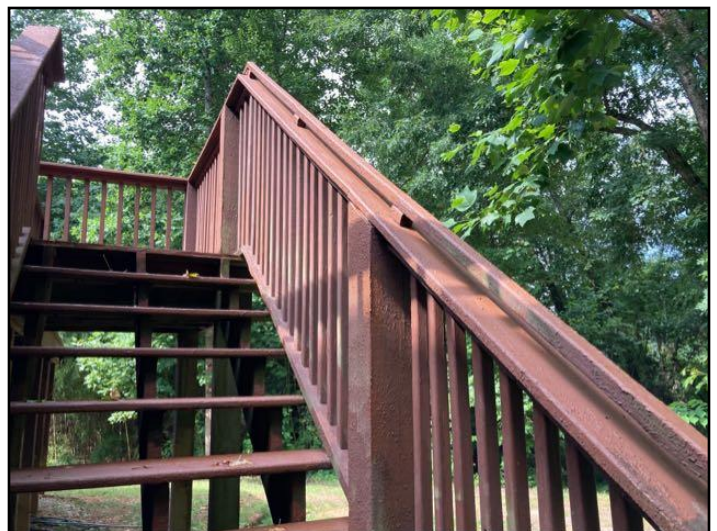
36. Rot/damage at deck edges



37. Rot/damage at deck edges



38. Uneven paint



39. Questionable top rail

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40. Improper beam connection detail



41. Rot/damage at deck edges



42. Rot/damage at deck edges



43. Rot/damage at deck edges

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44. Uneven paint

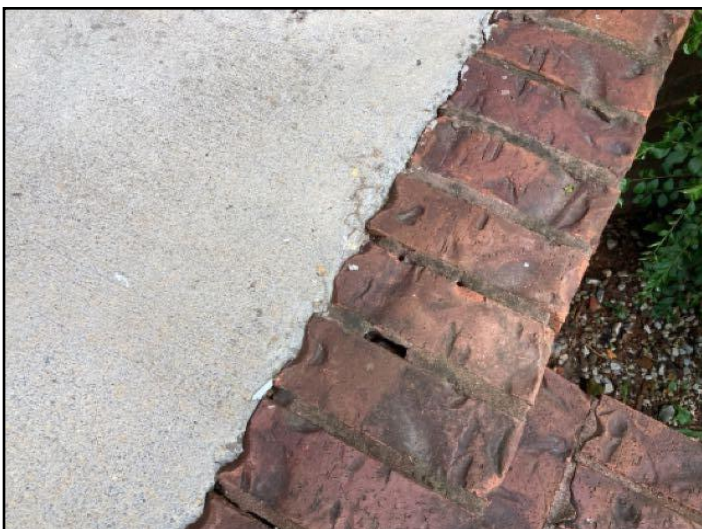
- Wood

Porch:

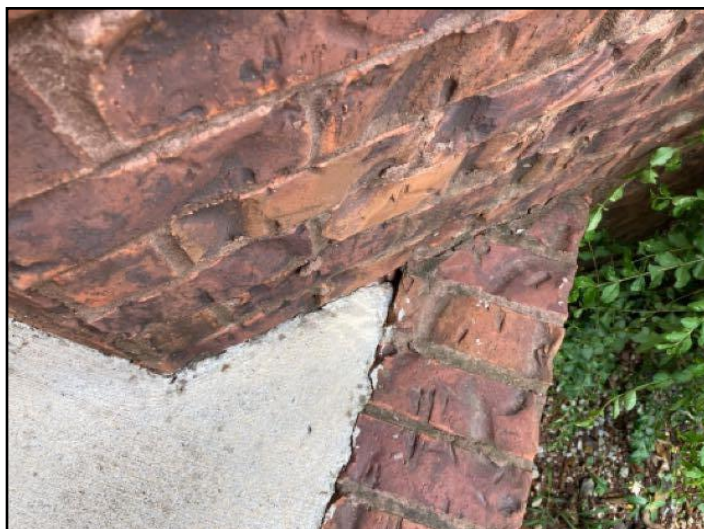
- Concrete

No major damage to the front porch concrete surface. There are some small gaps in the brick veneer and at an outer concrete corner. Seal any noticeable gaps as needed.

Handrails are typically required at stairs with four or more risers. The front porch stairs do not have a handrail installed. Guardrails are required at porches & decks that are over 30" above the ground. The front porch is taller than 30". Installing a handrail & guardrail is recommended.



45. Brick gap



46. Concrete gap

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47. Handrail missing



48. Porch height requires guardrail

Garage:

- Attached

Some of the wire shelves in the garage are loose or appear poorly supported. Adjust/improve the shelves where needed.

There are some dark stains on the drywall in the garage opposite the laundry room. This may be from previous spills or laundry area leaks. Monitor for further leaks. Clean the area to remove any potential mold/organic growth.



49. Wall stains

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Recommendations

ROOF DRAINAGE \ Gutters and Downspouts

1. Condition: • Missing

Gutters are not currently installed. Add gutters and downspouts to improve perimeter drainage. Ensure that all downspouts are extended away from the house.

Location: Throughout Exterior

Task: Improve

Description

Configuration:

- Crawlspace

Vapor barriers are very important to maintain low humidity in crawl spaces and to provide healthy environments for the wood framing and interior living space. A complete barrier can prevent fungal growth/mold, termite infestation, wood deterioration, condensation, and musty interior smells.

The crawlspace vapor barrier has several large gaps, disheveled areas, and areas covered with sediment. Replacing the barrier or adding a new/fresh barrier is recommended. A complete and professionally installed barrier will improve the long-term ability of the crawlspace to remain dry and free from mold & fungal growth. Periodically check for moisture intrusion and plumbing leaks.

Water was seeping in under the left side foundation wall. In most cases, I would presume that the moisture is from ground water/exterior drainage. However, the water in the subject crawlspace is around the main plumbing drain line as it exits the house. Verify the plumbing is free from leaks. Improve exterior drainage to prevent ongoing moisture seepage. Monitor for excessive moisture & evaluate further if needed.

Any moisture, humidity, or harmful vapors that rise up from the ground and moisture that seeps in from the exterior could cause fungal growth, health issues, wood deterioration, or unpleasant smells inside the home. Monitor the crawl space periodically--especially in humid summer weather. Failure to maintain a clean & dry environment in the crawl space may result in major future concerns--including increasing mold/fungus, wood deterioration, termites, and poor interior air quality.

There is a small storm shelter inside the crawlspace. The shelter is at the outside rear right corner--which may reduce effectiveness. The door felt relatively heavy and seemed to latch adequately. Adding a heavy-duty bolt lock or similar on the inside of the shelter may improve the strength of the door. I did not notice a passive air vent in the shelter. Verify & consider adding a passive air vent if needed.



50. Crawlspace



51. Vapor barrier missing

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52. Vapor barrier missing



53. Crawlspace

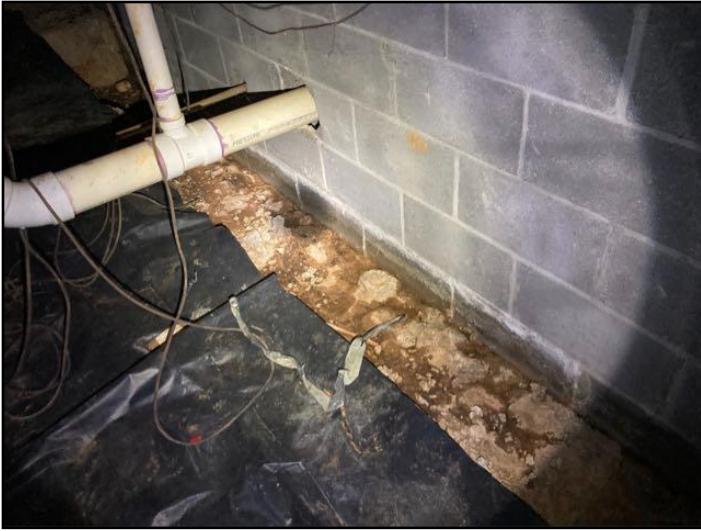


54. Vapor barrier missing



55. Water seepage at left side

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56. Water seepage at left side

57. Water seepage at left side

Foundation material: • Masonry block

Floor construction:

- Joists

The floor framing consists of 2x10 joists spaced every 16" and spanning up to 10'-2" +/- where measured. According to the American Wood Council's current span tables--the joists are within the recommended span.

I placed a moisture meter on the floor joists and subfloor in various locations and found some borderline moisture content. Based on the condition of the vapor barrier and the warm air noted inside the crawlspace-- I would expect the moisture content level to increase in summer. Improving the vapor barrier and reducing moisture & condensation can prevent ongoing long-term issues with crawlspace moisture.

Monitor the crawlspace for leaks, condensation, and general signs of moisture. Improve or evaluate further if needed. Treat or remove any fungal growth as needed.



58. Borderline moisture content

59. Borderline moisture content

- Masonry columns
- Wood beams (girders)
- Subfloor - OSB (Oriented Strand Board)

Exterior wall construction: • Wood frame / Brick veneer

Roof and ceiling framing:

- Rafters/ceiling joists

No major current visible deficiency with the visible portions of the attic roof rafter and joist framing--some of the framing was not safely accessible or was not visible.



60. Rafters/ceiling joists

- Oriented Strand Board (OSB) sheathing



61. Rafters/ceiling joists

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Insulation

Attic/roof space:

- Entered but access was limited

Limited safe access to most attic areas. Insulation and ductwork obstructed the view of some framing members.

Crawlspace:

- Entered but access was limited

Ductwork and other obstructions limited access in some crawl space areas.

Recommendations

FLOORS \ Sheathing/Subflooring

2. Condition: • Water stains

There are water-stained areas under the rear exterior living room and rear exterior sunroom doors. Both areas have evidence of recent repairs (rotted wood debris on the ground, added lumber). I found high moisture content readings under the sunroom door. The living area had acceptable moisture content--but added lumber limited checking the subfloor immediately next to the exterior wall. Water intrusion and wood damage are common beneath uncovered exterior doors. Ask the seller when the repairs occurred and what the repairs included. The doors should be evaluated further and improved to prevent continued moisture seepage & wood rot/ further damage. Sealing the exterior doors or adding pan flashing under the doors is recommended.

I also noticed large water stains on the subfloor under the kitchen/living area (possible long-term refrigerator leak) and under the laundry room (possible washer plumbing leak). I recorded acceptable moisture content under the kitchen/living area and one borderline reading under the laundry room. Ask the seller if they are aware of previous leaks in these areas. Evaluate or improve further if needed.

Implication(s): Material deterioration

Location: Various Crawl Space

Task: Further evaluation



62. Debris under rear door



63. Water stains under rear living room door

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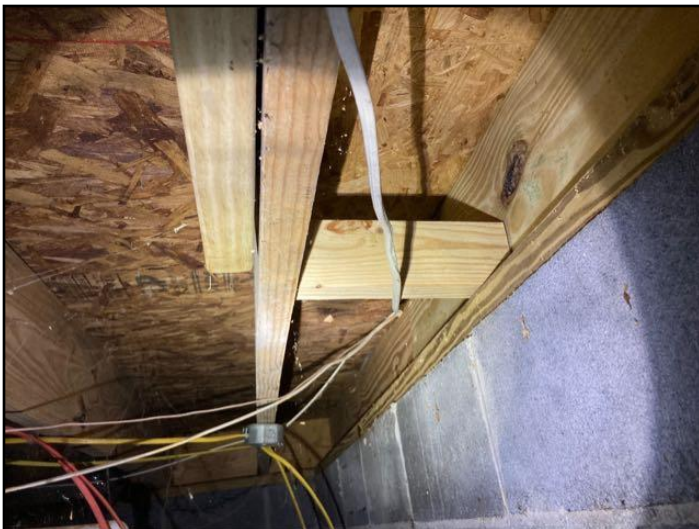
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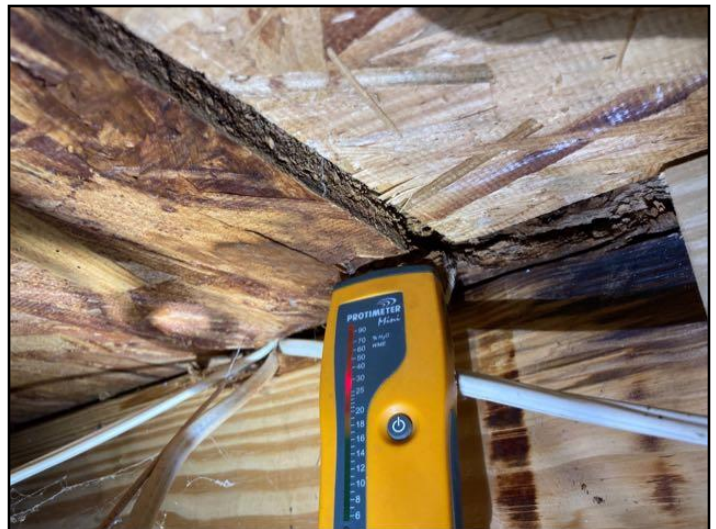
64. Stains/ wood damage under living room door



65. Acceptable moisture content under living room



66. Repairs under rear sunroom door



67. High moisture content under rear sunroom door

STRUCTURE

Memory Lane, Harvest, AL June 12, 2023

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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68. Large water stains under kitchen/living room



69. Acceptable moisture content under kitchen



70. Patch repair under living/kitchen area



71. Large water stain under laundry room



72. Borderline moisture content under laundry



73. Acceptable moisture content under laundry

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Description

General:

- Some light fixtures did not turn on. This is likely due to burnt-out or missing light bulbs. Replace the light bulbs and verify the light fixtures are functional.
- One upper bonus room fan light pull chain is stuck. Improve/repair if possible.

Service entrance cable and location: • Underground aluminum

Service size: • 200 Amps (240 Volts)

Main disconnect/service box rating: • 200 Amps

Main disconnect/service box type and location:

- Breakers - exterior wall

No visible issues with the main electrical shut-off panel at the exterior wall.



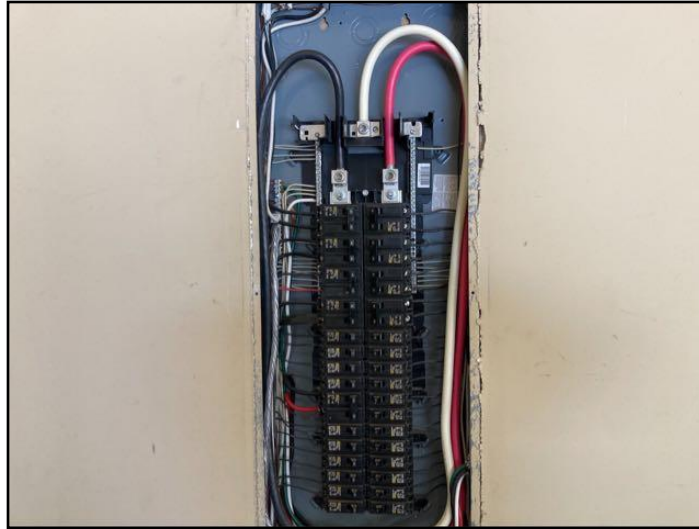
74. Main electrical shut-off

System grounding material and type: • Copper - ground rods

Distribution panel type and location:

- Breakers - garage

No major issues or deficiencies inside the attached garage distribution breaker panel. The panel interior wiring is relatively open (not crowded) and no damage was found.



75. Breakers - garage

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles):

- Grounded - typical

I tested all visible electrical outlets. Issues found are detailed in the recommendations.

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- GFCI - bathroom
- GFCI - exterior

The exterior cover is loose at one upper deck area electrical outlet. Secure the cover if possible.

- GFCI - garage
- GFCI - kitchen

Smoke alarms (detectors):

- Present

Smoke detectors were visible in most of the required areas. I did not see a smoke detector in the foyer/outside of the main level front right bedroom. Most fire prevention services recommend installing detectors inside sleeping rooms and in the rooms immediately outside of sleeping rooms. Consider adding a detector in the foyer area.

Carbon monoxide (CO) alarms (detectors):

- None noted

I did not see a carbon monoxide detector. Consider adding carbon monoxide detectors (at least one per floor).

Limitations

System ground: • Continuity not verified • Quality of ground not determined

Recommendations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

3. Condition: • Reversed polarity

One electrical outlet in the upper level bonus room has reversed polarity. Re-wire/ repair the outlet.

Implication(s): Electric shock

Location: Second Floor

Task: Repair



76. Reversed polarity

Description

General:

- Reminder to check the HVAC filter every four to six weeks. Replacement of the HVAC filters after closing is recommended.

Ensure the system is serviced 1-2 times per year.

The upper-level return grill/cover is bent/dented. Replace if desired.

Heating system type: • Heat pump

Fuel/energy source: • Electricity

Heat pump manufacturer:

- Haier

The HVAC air handler for the upper level is located inside the attic. The unit has a drain pan and float switch to limit spills/leaks. The drain pan for the unit is nearly halfway filled with water and the pan appears rusty. Under normal conditions, the pan should always be dry. The water and rust indicate that the HVAC system should be evaluated/serviced by an HVAC technician or contractor.

The HVAC air handler for the main level is located in the crawlspace. The unit has a drain pan. I did not see a float switch or spill protection device. In most cases, spill protection devices are not installed in crawlspaces. Monitor for condensate leaks/spills. Service the system 1-2 times per year.

An additional note--the HVAC brand (Haier) is not one I typically see. According to the manufacturer labels, the upper-level HVAC air handler was manufactured in "0804". I would interpret this as being manufactured in August 2004. This seems odd since the home was built in 2011. The crawlspace air handler manufacture date reads "0908" which I would interpret as September 2008. Verify the manufacture date of the HVAC systems and any recent service records if possible.



77. HVAC air handler (upper)



78. Water in pan

HEATING

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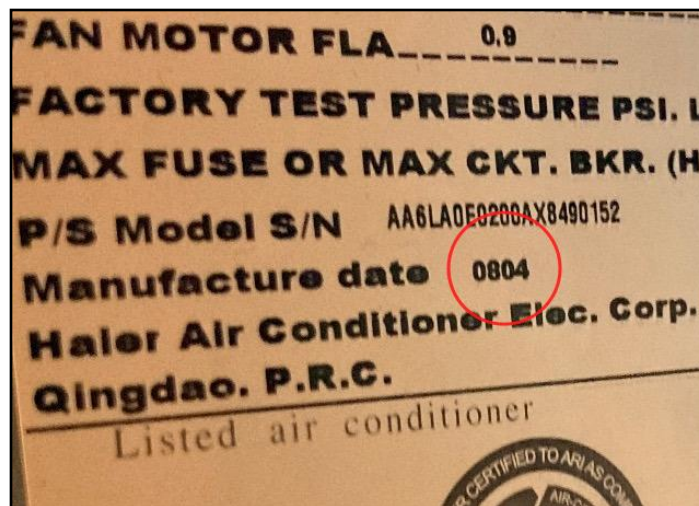
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79. Water/rust in pan



80. HVAC air handler (lower)



81. Manufacture date for upper air handler

Heat distribution:

- Ducts and registers

The HVAC ductwork in the crawlspace has some leaking areas due to duct holes/ openings. One duct is completely disconnected near the center of the crawl. One duct has a noticeable rodent hole. Additional ducts have damaged insulation or are not fully supported. I noticed two registers in the house with noticeably poor performance/flow. One is in the upper left bedroom--indicating there may be duct damage in the attic that was not obvious during the inspection. The front right main level bedroom's poor performance is likely due to the rodent hole & disconnected duct. The ducts should be evaluated for repair or replacement. Cleaning the duct interiors is also recommended unless the ducts are completely replaced.

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82. Weak performance at supply register



83. Weak performance at supply register



84. Rodent tunnel in duct



85. Disconnected duct

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86. Sagging duct



87. Damaged insulation



88. Damaged insulation



89. Damaged insulation

Efficiency: • Conventional

Temperature difference:

• Temperature was checked at the registers and the return.
In heating mode, I recorded a 35-40 degree (+/-) temperature differential between the return and the registers in most areas.

HEATING

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90. Temperature at upper return



91. Temperature at upper register



92. Temperature at lower return



93. Temperature at lower register

Fireplace/stove:

- Decorative only

The living room fireplace is currently decorative only--but appears set up for an unvented gas log unit. It appears that gas logs were never installed. Professionally install unvented a gas supply and gas logs if desired.

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94. *Gas logs not installed*

COOLING & HEAT PUMP

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Description

Air conditioning type:

- Air cooled

The manufacturer labels for the HVAC condensers are missing or not complete. I could not verify the age of the units. Based on the HVAC air handler's manufacturer information and the age of the house, the condensers may have manufacturer dates between 2004 & 2011. Verify any information about the HVAC systems if possible.

The HVAC condensers are not level. This can damage the internal components over time. Re-level the units. The insulation is missing or damaged at the exterior low-pressure refrigerant lines. Replace the insulation.



95. HVAC condensers



96. Insulation missing



97. Condenser not level



98. Condenser not level

Heat pump type: • Air source

Manufacturer: • Haier

COOLING & HEAT PUMP

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Compressor type: • Electric

Temperature difference across cooling coil:

- Acceptable temperature difference: 14° to 22°

In cooling mode, an 18-21 degree temperature differential was recorded between the air returns and the registers. Some poor performance noted at supply registers with damaged ductwork (see heating section). Repairing/ improving the ductwork is recommended.



99. Temperature at upper return



100. Temperature at upper register



101. Temperature at lower register



102. Temperature at lower return

Refrigerant type: • R-410A

Condensate system:

- Discharges to exterior

The condensate discharge points are next to the exterior HVAC condenser and in the right side yard. A water puddle & muddy conditions noted at the discharge location near the condensers. Extend or adjust the discharge point to improve perimeter drainage.

COOLING & HEAT PUMP

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103. Condensate discharge location



104. Condensate discharge location

Description

Attic/roof insulation material:

- Cellulose



105. View of insulation

Attic/roof insulation amount/value:

- 6 inches

The attic insulation is less than current standards--possibly due to typical compression over time. The insulation level varied from 4"-7" where accessible. Consider adding more insulation to the attic to maintain a consistent amount of 8-10".

Attic/roof ventilation:

- Soffit vent
- Gable vent
- Ridge vent

The attic temperature was acceptable during the inspection. Monitor the attic for consistent hot summer temperatures. Consistent attic temperatures that are 20-25 degrees above the exterior temperature may indicate that additional ventilation is needed.

Wall insulation material:

- Glass fiber

There is some damage or gaps in the wall insulation (visible inside the attic). Replace/improve any damaged wall insulation.

INSULATION AND VENTILATION

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106. Damaged insulation



107. Damaged insulation

Crawlspace ventilation:

- Wall Vents

Some of the foundation vents are loose at the exterior brick. Secure/re-position the vents where needed.



108. Loose vent



109. Loose vent

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Description

Water supply source (based on observed evidence): • Public

Supply piping in building: • Plastic • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Crawlspace

An interior water shut-off valve is located inside the crawlspace.

- Meter

The main water shut-off is at the water meter in the front yard (near the street).

Water flow and pressure:

- Functional

The water pressure was within the recommended 40-80 psi range. The pressure was 43 psi during testing.



110. Water pressure= 43 psi

Water heater type: • Conventional

Water heater location: • Crawl space

Water heater fuel/energy source: • Electric • Consider adding a protective conduit for the water heater electric cable to prevent accidental damage.

Water heater manufacturer:

- General Electric (GE)

The water heater was functional during the inspection. The water heater includes an expansion tank as currently required. The water heater was manufactured in 2011. A drain pan is not installed. Monitor the crawlspace ground for signs of moisture/leaks.

The water heater pressure relief valve is improperly routed against gravity. Water heater manufacturers and safety standards require the tube to flow with gravity. Additionally, the tube terminates too high above the ground. The discharge point should be within 6" of the ground to limit the spray of any scalding water/discharge. Adjust/re-position the discharge tube.

PLUMBING

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111. Improper discharge location/height



112. View of water heater



113. Improper relief valve discharge tube

Water heater tank capacity: • 50 gallons

Water heater approximate age: • 12 years

Hot water temperature (Generally accepted safe temp. is 120° F):

- 130° F

The hot water temperature was 130 degrees. This is above the recommended residential hot water temperature. Reducing the water temperature to 120 or lower is recommended.



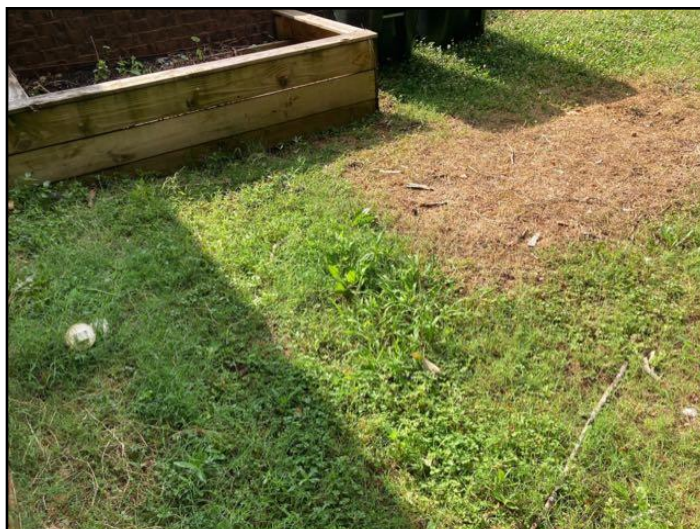
114. Hot water temperature

Waste disposal system:

- Septic system

The building is presumed to be on a private septic system. I have no information regarding the planning, installation, size, performance, or other construction details of the septic system. A pump alarm is attached to the exterior left side wall. A clean-out cap and likely tank or pump access point are also visible in the left side yard (the brown grass area may indicate the tank lid location). Verify the septic/waste disposal details with the home seller. Consider having any septic system serviced.

If needed, the local health department may have information regarding the system type and location.



115. Septic system/ pump location

Waste and vent piping in building: • Plastic

Exterior hose bibb (outdoor faucet):

- Present

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The rear hose faucet is loose at the connection to the exterior wall. Secure the hose faucet.

Limitations

Items excluded from a building inspection: • Septic system • Concealed plumbing

Description

Major floor finishes:

- Carpet
- Hardwood

The dining area hardwood floors have been bleached/lightened from sun exposure through the windows. Some minor water stains/ damage were noted to the flooring inside the front door. Cosmetically improve the floors if desired.

- Tile

Major wall finishes: • Plaster/drywall

Major ceiling finishes: • Plaster/drywall

Windows:

- Vinyl

One living room window has a detached sash cord/attachment. Repair the window. Some windows have misaligned locks or were difficult to lock (one master bedroom, one sunroom, and one upper left bedroom). Adjust/improve the window locks where needed.

The top of an upper-level front-facing window interior frame appears to be bowed. This does not affect the ability of the window to open & close. Repairs are not needed at this time.



116. Lock not aligned



117. Detached sash

Glazing:

- Double

The upper level (front left) bonus room window has broken glass. Replace the window.



118. Broken glass

Exterior doors - type/material:

- Hinged

The deadbolt lock for the exterior walk-through garage door is not aligned or was difficult to lock. Adjust/improve the door lock.

- Garage door - metal

The automatic garage door operated correctly. The safety eyes were functional.

The door/motor was squeaky when opening/closing. Consider lubricating or adjusting where needed. The safety sensor eyes are slightly lower than the recommended height. Consider raising the sensors to 6" above the floor.

Doors:

- Inspected

The upper left bedroom door has been removed and is stored in the attic. Re-install if desired.

One upper-level bonus room closet door ball latch is sticking up too high--making the door difficult to shut. Adjust/improve the door hardware.

The front right bedroom closet door uses a keyed doorknob/lock. Replace if desired.

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119. Ball latch too high

Appliances:

- Refrigerator

The kitchen refrigerator appears to be cooling adequately. The water dispenser was functional. There was no ice in the freezer. The ice dispenser was not tested.

- Dishwasher

The dishwasher ran & drained a cycle correctly.

The dishwasher drain line should be raised above the sink bottom to prevent siphoning--backflow into the dishwasher.



120. Backflow prevention missing

- Microwave/Exhaust Fan Combo

The microwave oven was functional during a brief test. The vent fan was functional. The microwave counter light did not turn on. Check/change the light bulb.

- Range

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The electric range was functional during a brief test.

- Wall Oven (or Oven)

The oven operated correctly during a brief test. The oven light did not turn on. Check/change the oven light bulb.

Laundry facilities:

- Washer

The washer was not tested but appears to have had previous use. No visible issues noted at the washer plumbing and electrical service.

- Laundry tub

The laundry tub is not secured to the floor or wall and can be moved easily. Additionally, the sink faucet is not secured to the sink. Securing the sink is recommended.



121. Laundry tub

- Hot/cold water supply

Consider installing the wall frame to hide the rough-cut drywall edges around the laundry plumbing connections.

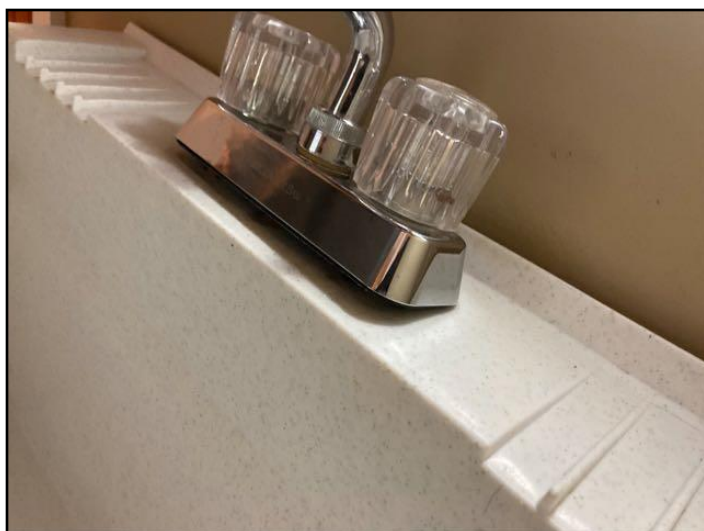
- Dryer

The dryer was functional during a brief test.

- Vented to outside

The exterior dryer vent cover is damaged or partly missing. Replace the outer cover.

Periodically clean the vent/ remove lint.



122. Loose faucet



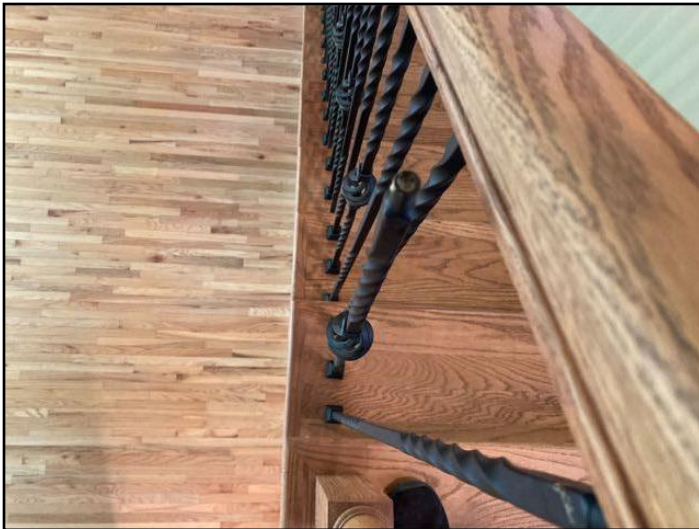
123. Damaged vent cover

- 120-Volt outlet
- 240-Volt outlet
- Waste standpipe

Stairs and railings:

- Inspected

The interior stair handrail is loose. Several of the balusters pop out of place. Repair the handrail.



124. Rail baluster out-of-place



125. Rail baluster out-of-place

Limitations

Not included as part of a building inspection:

- Cosmetic issues

Cosmetic concerns are not part of a typical home inspection. After closing--clean the house and address any cosmetic issues as needed. Touch-up paint where needed.

- Vermin, including wood destroying organisms.

Evidence of previous rodent activity was found in the home (insulation tunnels in attic, tunnels into crawlspace ductwork, droppings on water heater). Ensure the home is regularly inspected and/or treated for pests.



126. Rodent droppings on water heater (crawlspace)

- Window treatments

The window blinds/coverings were not a part of the inspection.

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Description

Electrical: • GFCI

Sink/Basin:

- ceramic

The upper hall bathroom sink, one master bathroom sink, and the first-floor center bathroom sink have missing or detached drain stops. Reattach/replace if desired.

The upper hall bathroom hot & cold controls are reversed (the red-colored faucet provides cold water & the blue colored handle provides hot water). Improve/reverse if desired.



127. Sink is functional



128. Sink is functional



129. Red/blue coloring reversed



130. Sink is functional

BATHROOM

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131. Sink is functional



132. Sink is functional

Tub:

- jetted

The access panels for the jetted tub motor & plumbing do not stay in place consistently. One of the panels is missing one of the latching pieces. Improve the access panels.



133. Jetted tub is functional

Shower:

- stall

The master bathroom shower stall door may allow some water seepage onto the master bathroom floor. Monitor and improve the door seal if needed.

BATHROOM

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134. Shower is functional

- tub/shower combo



135. Shower is functional



136. Tub/shower is functional

Toilet:

- standard

No active interior leaks were visible at the base of the toilets. Monitor the plumbing for leaks during regular/daily use.

Consider installing bolt caps to the toilet bases where needed.

The master bathroom toilet tank lid is cracked/damaged. Replace the lid.

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137. Cracked tank lid

Ventilation:

- fan

The upper-level bathroom vent fan did not turn on. Verify the fan is functional. Repair/replace as needed. I did not see a vent fan in the master bathroom except in the toilet area/ water closet. Vent fans are primarily used to remove steam and humidity. Consider installing a vent fan in the main area of the master bathroom. One vent fan discharge tube is disconnected inside the right side attic. Reattach the vent tube. Verify all vent fans discharge to the exterior or to the roof vents.



138. Fan exhaust tube detached

- It should be noted that the ability of the bath fans to remove odors and steam from the bath areas is not determined.

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Description

Weather: • Cloudy • It was not raining at the time of the inspection.
Approximate temperature: • 72°
Attendees: • Buyer
Access to home provided by: • Lockbox
Occupancy: • The home was unfurnished during the inspection.
Utilities: • All utilities were on during the inspection.
Approximate inspection Start time: • The inspection started at 9:00 a.m.
Approximate inspection End time: • The inspection ended at Noon.
Approximate date of construction: • 2011

END OF REPORT